ELEVATION PLAN

SCALE: ¼"-1'-0"

PAPER: ARCH D 36x24

DATE ISSUED: 11-02-23
REVISIONS:
1. 05-03-24

PLEASE NOTE:

DESIGNER ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.
IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION.

1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS & ALL SQUARE FOOTAGE PRIOR TO PROCEEDING WITH CONSTRUCTION.

2. BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.

3. DESIGNER ASSUMES NO RESPONSIBILITY FOR STRUCTURAL ENGINEERING ASPECTS.

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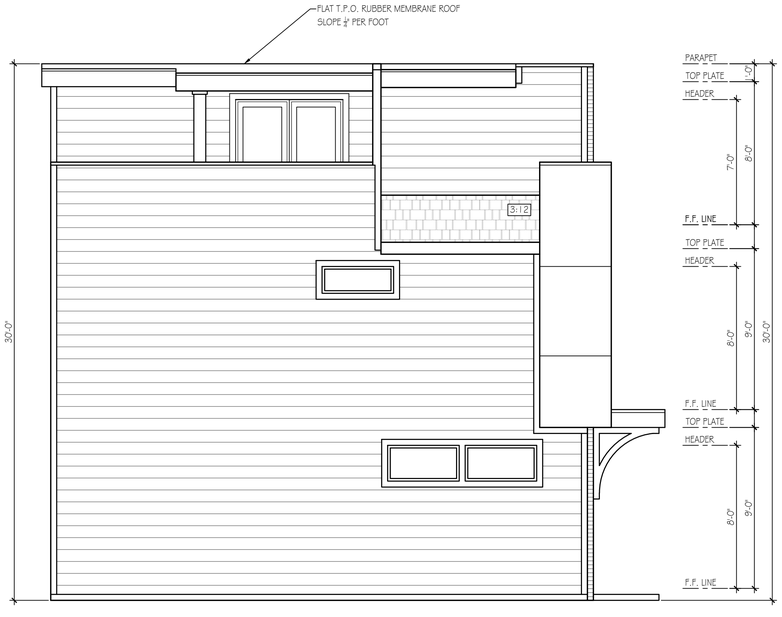
MARK LYNN & ASSOCIATES IS NOT A LICENSED ARCHITECT.

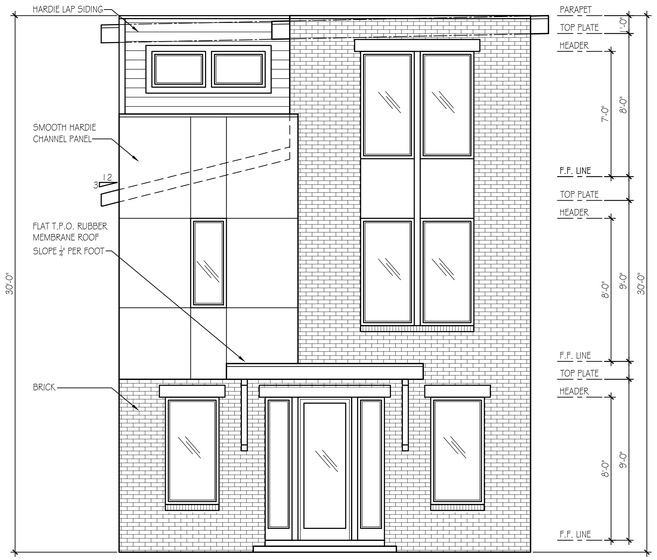
REAR ELEVATION

SCALE: ¼"-1'-0"



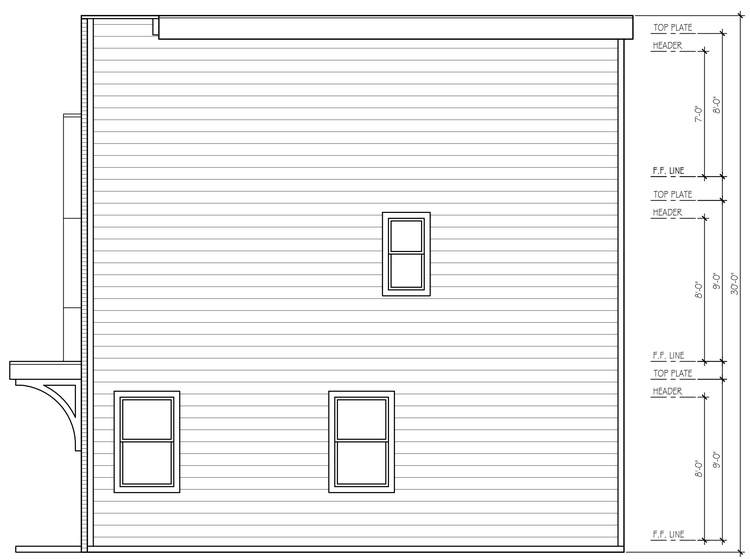
LEFT ELEVATION

SCALE: ¼"-1'-0"



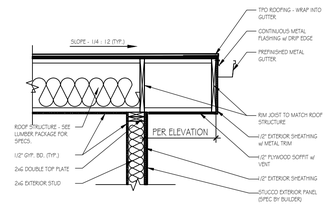
FRONT ELEVATION - A

SCALE: ¼"-1'-0"



RIGHT ELEVATION

SCALE: ¼"-1'-0"



DETAIL: FLAT T.P.O. RUBBER MEMBRANE ROOF

NOT TO SCALE, TYPICAL

HAMPTON COTTAGES UNIT 10

Lynn
& associates
6965 Sunnywood Dr.
Nashville, TN 37211
p 615.308.5330
marklynn1@hotmail.com
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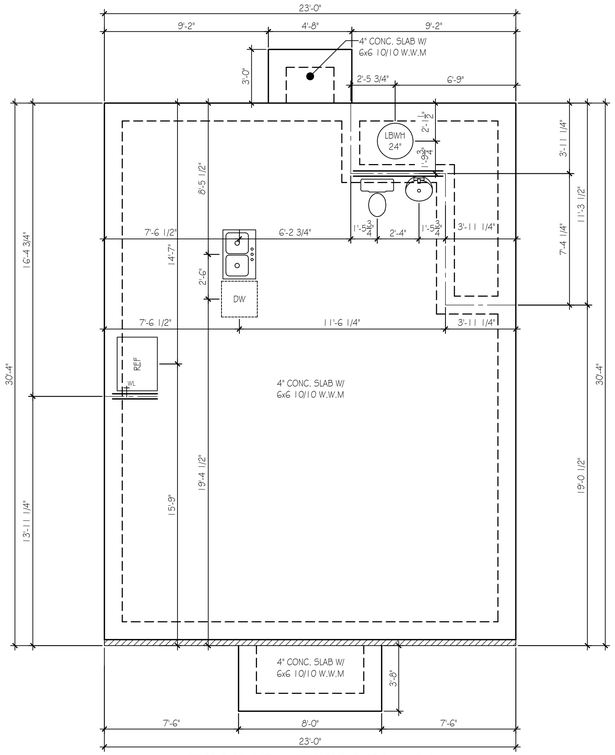
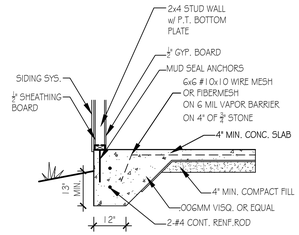


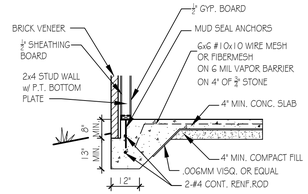
FOUNDATION PLAN

SCALE: 1/4"-1'-0"



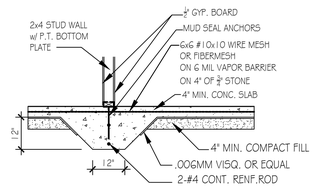
DETAIL: TYPICAL EXTERIOR WALL

NOT TO SCALE, TYPICAL



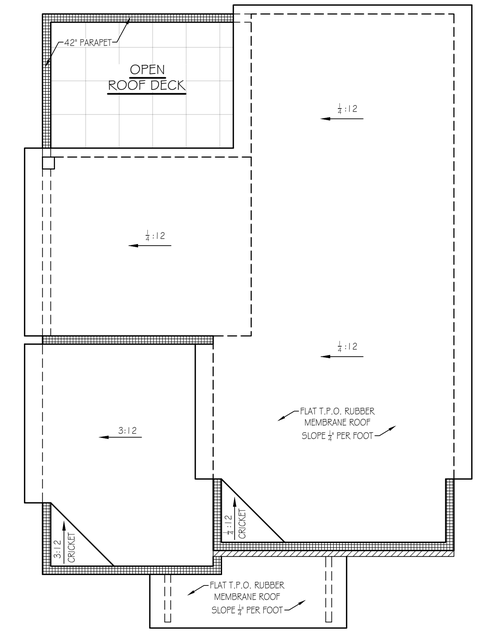
DETAIL: EXTERIOR BRICK WALL

NOT TO SCALE, TYPICAL



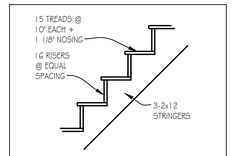
GRADE BEAM

NOT TO SCALE, TYPICAL



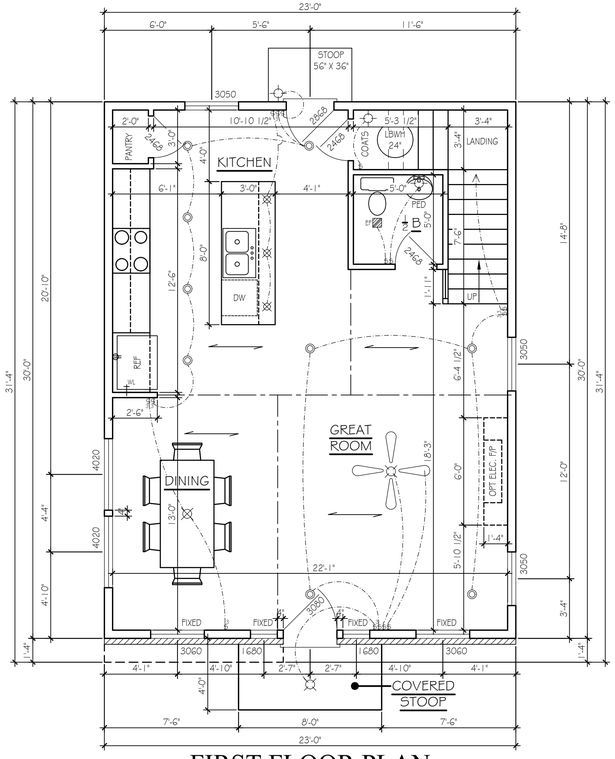
ROOF PLAN

SCALE: 1/4"-1'-0"



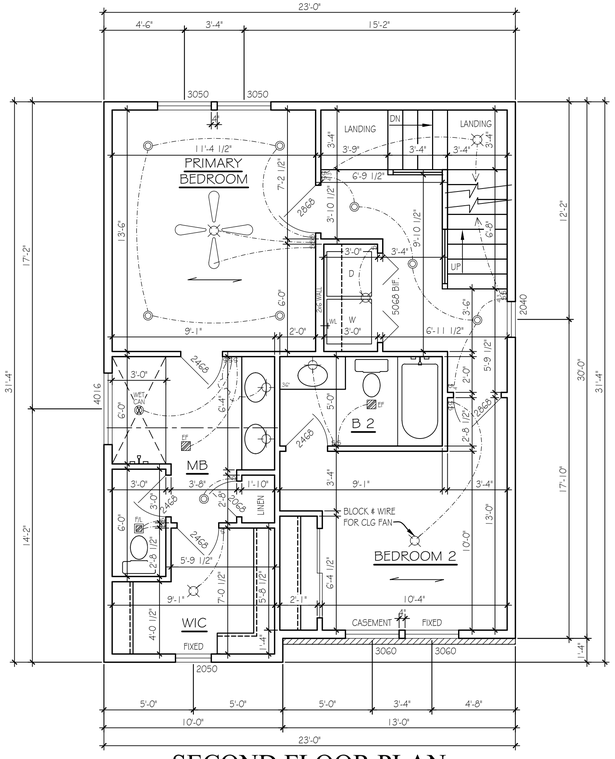
STAIR DETAIL

9'-0" CEILING- NOT TO SCALE



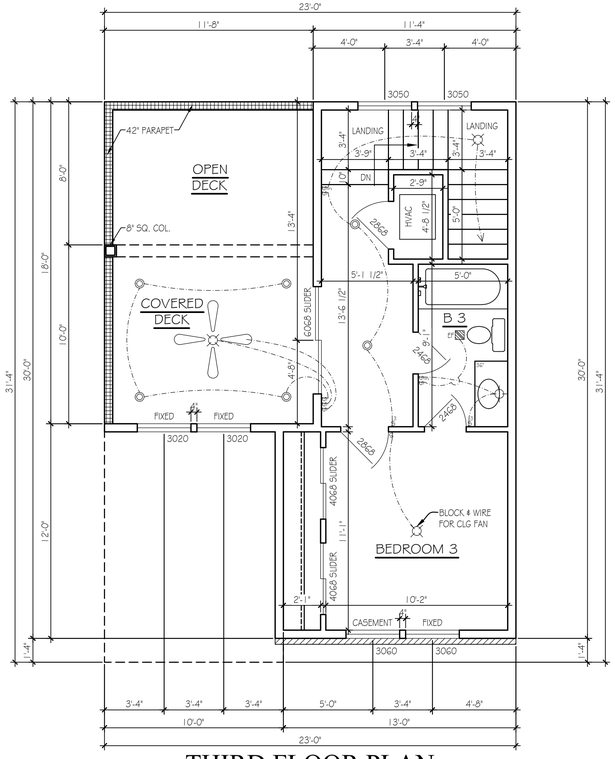
FIRST FLOOR PLAN

SCALE: 1/4"-1'-0"



SECOND FLOOR PLAN

SCALE: 1/4"-1'-0"



THIRD FLOOR PLAN

SCALE: 1/4"-1'-0"

A.2

FLOOR, SLAB, & ROOF PLAN

SCALE: 1/4"-1'-0"

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FRAMING NOTES

1. ALL EXTERIOR WALLS ARE 2x6 STUDS UNLESS NOTED OTHERWISE
2. ALLOW 4" BRICK POCKET IF APPLICABLE
3. CEILINGS: 1ST FLR: 9'-0"
   2ND FLR: 9'-0"
   3RD FLR: 8'-0"
4. ALL 1ST FLOOR WINDOWS ARE FRAMED @ 8'-0" AFF UNLESS NOTED OTHERWISE
5. ALL 2ND FLOOR WINDOWS ARE FRAMED @ 8'-0" AFF UNLESS NOTED OTHERWISE
6. ALL 3RD FLOOR WINDOWS ARE FRAMED @ 7'-0" AFF UNLESS NOTED OTHERWISE
7. ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE

ELECTRICAL KEY

	CEILING FAN W / LIGHT
	LIGHT- CEILING MTD
	LIGHT- PENDANT / CHAND.
	LIGHT- MINI-PENDANT
	LIGHT- SCONCE- WALL MTD
	LIGHT- RECESSED CAN
	LIGHT- RECESSED ACCENT
	LIGHT- FLUO. STRIP
	LIGHT- UNDERCTR / COVE
	LIGHT- EXT. FLOOD
EF OR EF	EXAUST FAN
F/L OR F/L	EXAUST FAN / LIGHT
S	SWITCH- SINGLE
S3,4	SWITCH- 3 OR 4-WAY
SD	SWITCH- DIMMER
SD	SMOKE DETECTOR

ALL ELECTRICAL OUTLETS WILL BE PER THE NEC CODE

APPROX. AREA	
FIRST FLOOR LIVING	690
SECOND FLOOR LIVING	637
THIRD FLOOR LIVING	366
TOTAL LIVING	1693
FRONT COVERED STOOP	32
REAR COVERED DECK	121
TOTAL COVERED	1846

HAMPTON COTTAGES UNIT 10

Lynn
& associates
6965 Sunnywood Dr.
Nashville, TN 37211
p 615.308.5330
marklynn1@hotmail.com
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